

**AGENDA
PLANNING AND ZONING COMMISSION
REGULAR MEETING
October 23, 2017**

**HIAWATHA COUNCIL CHAMBERS
(101 Emmons Street-Upper Floor) – 5:30 P.M.**

1. Call to Order - Roll Call
2. Consider Approval of:
 - a. Agenda
 - b. Minutes of September 25, 2017

3. Business

a. Tower Commerce 16th

- # 1. Consider Resolution for recommendation to City Council to approve the Final Plat submitted by Schnoor-Bonifazi for Tower Commerce 16th, Hiawatha, IA.

b. 150 Willman St

- # 1. Consider Resolution for recommendation to City Council to approve the Design Guidelines for 150 Willman St., Hiawatha, IA.

- # 2. Consider Resolution for recommendation to City Council to approve the Site Plan for 150 Willman St., Hiawatha, IA.

Adjourn

- # *Items that have to go on to City Council for final vote*
- *Items that Planning and Zoning Commission have final vote*
- * *Items that have to go on to Board of Adjustment for final vote*

HIAWATHA PLANNING AND ZONING COMMISSION
REGULAR MEETING
September 25, 2017

2B

The Hiawatha Planning and Zoning Commission met on September 25, 2017. Chairperson, Mark Powers called the meeting to order at 5:30 P.M. Members present: Mark Ross, Terry Trimpe, Kenny Jones, Reta Saylor and Tom Wille. Members Absent: Darryl Cheney. Staff present: Building Official, Pat Parsley, City Administrator, Kim Downs, City Engineer, John Bender. Guests in Attendance: Hall and Hall Engineers, Susan Fornash and Steve Scott and Denny Norton.

Board Member, Reta Saylor moved to approve the Agenda. Second by Kenny Jones. Motion carried.

Board Member, Reta Saylor moved to approve the meeting minutes of August 28, 2017. Second by Tom Wille. Motion carried.

Consider Resolution for recommendation to City Council to approve the Final Plat submitted by Hall and Hall for Pecks Landing 1st Addition, Hiawatha, IA.

Pat Parsley addressed the Board. He explained that Lot 3 Auditor's Plat is s designation of a previous plat. Lot 1 Peck's Landing First Addition is the only lot being proposed at this time and lot 1 is part of Lot 3 Auditor's Plat.

Mark Powers asked if the extra lots would disappear once the area is platted. Susan Fornash from Hall & Hall stated that Lot 3 will still exist for Peck's Landing but eventually will go away once all lots are platted.

Mark Powers asked if there was a tenant. Susan Fornash stated she was not sure but the developer is actively seeking tenants.

Kenny Jones asked if all the minor corrections mentioned in Pat's memo have been addressed. Pat Parsley confirmed all items have been addressed.

Terry Trimpe asked about the installation of Peck's Boulevard. Pat Parsley explained that roads inside the plat will be private. Water and sewer lines will be public and maintained by the city. Owner is constructing a portion of private road on this plat. Susan Fornash added that Peck's Boulevard and Peck's Drive will be recorded. The road will be maintained by the owners.

John Bender added that the easement will be recorded with plat. Public sewer and water will be located in the easement and the city needs access. This will be documented and recorded with the plat. The hatched area on the plat map will be future private road.

Kenny Jones inquired if there would be a turn lane added onto 18th Avenue. John Bender stated the City will require turn lane when it is time. Project will included a lighting and signal project at 18th Avenue, a 28E with Cedar Rapids.

Terry Trimpe asked if a concrete road will be built before anyone uses the building on Lot 1? John Bender stated the completion of the construction of the road is up to the developer but it would be to their advantage to get it done in advance because without it there would be only 1 access in and out. Pat Parsley added that Edgewood Road construction will be part of the process and included in the plan of improvements.

Tom Wille moved to recommend to City Council to approve the Final Plat of Peck's Landing 1st Addition. Second by Terry Trimpe.

Roll Call:

AYES: Mark Ross, Kenny Jones, Terry Trimpe, Reta Saylor, Mark Powers, Tom Wille

NAYS: None

ABSENT: Darryl Cheney

Resolution #17-024 Approved

Consider Resolution for recommendation to City Council to approve the Final Plat submitted by Mark Ralston for Dell Ridge 3rd Addition, Hiawatha, IA.

Mark Powers commented that in the engineer's memo, there are a lot of items that need to be addressed and is common and can be forwarded to City Council.

Kenny Jones asked if the lots were in addition to the lots currently located in the subdivision. Pat Parsley confirmed the lots were in addition and added the utilities are not all in yet.

Kenny Jones asked if Edgewood Road was complete in this area. John Bender said Edgewood Road is still under construction.

Kenny Jones asked if the public can access this area. Pat Parsley confirmed other access is available to this subdivision.

Kenny Jones moved to recommend to City Council to approve the Final Plat submitted by Mark Ralston for Dell Ridge 3rd Addition, Hiawatha, IA.

Second by Tom Wille.

Roll Call:

AYES: Terry Trimpe, Reta Saylor, Mark Powers, Tom Wille, Kenny Jones, Mark Ross

NAYS: None

ABSENT: Darryl Cheney

Motion Carried

Resolution #17-025 Approved

Mark Ross motioned to adjourn the meeting at 5:46p.m. Second by Kenny Jones. Motion carried.

Mark Powers, Chairperson

ATTEST:

Kelly Kornegor, City Clerk

3A

City of Hiawatha
Engineering Department
101 Emmons St., Hiawatha Iowa, 52233-1697
PHONE (319) 393-1515 ext. 511 FAX (319) 393-1516

To: Planning and Zoning Commission

Date: October 18, 2017

From: John Bender PE, City Engineer

Re: Tower Commerce Center 16th Addition

Description: Approval of Final Plat

Report:

Engineering has reviewed the final plat of Tower Commerce 16th Addition to the City of Hiawatha. All street and utility improvements are currently in place and accepted, so no other action is needed for that item. We also find the final plat is substantial compliance with the approved preliminary plat.

We will need sign-offs from the utility companies as to the location of all proposed utility easements and a developers agreement covering storm water, sidewalk, and street lights.

Engineering recommends approval of this final plat.

If you have any questions please let me know.

City of Hiawatha

Community Development Department

3A-1

Purpose: Final Plat Approval **Date:** 10/05/2017

To: Planning and Zoning Commission

Name of Plan: Tower Commerce Center 16th Addition

Address: 865 Tower Terrace and 860 Metzger (proposed) **Zone:** C-4

Number of Lots: 2 lots

Reviewed by: Patrick Parsley, Community Development Director

Description: This is part of the Tower Commerce Center preliminary plat. The lot lines have been adjusted but no major changes are proposed. The lot size complies with the UDC. There is no request for a zoning change.

Report: This final plat matches the most recent preliminary plat. There is no required plan of improvements to be considered with this plat except for the installation of a street light at the intersection of Tower Terrace and the proposed private driveway:

- Sewer and water will be made available through an easement from the adjacent lot to the east and from Metzger in the respective lots.
- Access to the Tower Terrace lot will be from a private access driveway along the west side of the Tower Terrace lot of this plat connecting to an access easement on the south side of the lot. This will remain a private driveway and will not require an additional access to Tower Terrace.
- Access for the lot on Metzger will be from Metzger as detailed in the preliminary plat.

Final blue bound documents and utility sign-offs have been submitted for Council consideration.

Recommendation: Community Development supports the Planning and Zoning Commission recommendation for approval of this final plat.

Final Plat Review for Tower Terrace Center

Sixteenth Addition

The Water Department has completed its review of the Tower Terrace Center Sixteenth Addition Final Plat submitted by Schnoor Bonifazi Eng. The Water Department recommends approval of this Final Plat on October 9, 2017.



Marty Recker

Hiawatha Water Superintendent

CC: Kelly Kornegor, City Clerk

Pat Parsley, Community Development Director

3B

City of Hiawatha
Engineering Department
101 Emmons St., Hiawatha Iowa, 52233-1697
PHONE (319) 393-1515 ext. 511 FAX (319) 393-1516

To: Planning and Zoning Commission

Date: October 19, 2017

From: John Bender PE, City Engineer

Re: Hiawatha Library Expansion

Description: Revised Site plan

Report:

We have reviewed the above site plan submitted for the proposed library expansion. They will treat the entire site's water quality volume (1.25" over the entire site) using a bio-cell along the west side of the lot which will also provide enough storage volume onsite to provide storm water management for the increased impervious area on the plan. The new access will also align with the existing 1st Avenue.

With the proposed plan we find our comments have been addressed. Engineering can recommend approval.

If you need any further information, please let us know.

City of Hiawatha Community Development Department

Purpose: Site Plan: CPR-1 and Design Guidelines (DG) **Date:** 10/13/2017

To: Planning and Zoning Commission

Name of Plan: Hiawatha Public Library

Address: 150 West Willman Street **Zone:** CPR-1

Number of Lots: 1 lot

Reviewed by: Patrick Parsley, Community Development Director

Description: This is an expansion of our existing library on the same lot. The new building will have a 16,000 ft² area on the main floor with a 5,000 ft² basement. The building will include a meeting room of about 4,000 ft². The proposed exterior design is similar to the existing with a masonry finish and sloped asphalt roof.

The changes to the site will include added parking, installation of a water quality bio-swale for the added storm water and complying landscaping trees and green space. New sewer and water services will be installed to accommodate the increased demand and a fire sprinkler system.

Report: The Planning and Zoning concern is with the CPR-1 specifications for access, parking and Design Guideline for the building exterior. CPR-1 specifications require all site plans to be approved by P&Z and Council because of the desired building-forward concept and shared rear parking.

Access from Center Point Road is discouraged as an effort to create a pedestrian friendly downtown. This plan complies with the access concepts for CPR-1 because there is no direct access to Center Point Road. In addition, there is a need for shared parking. The size of the building requires a minimum of 69 parking spaces but only 51 are proposed. The options to “share” parking with City Hall or to ask for a variance of 25% exist for this project. Either option would be considered viable for this odd shaped lot in the CPR-1 zone.

The DG requires a 25 foot setback from Center Point Road except when approved as a building-forward design. The DG for this zone requires an exterior masonry finish on at least 50% of the exterior walls visible from Center Point Road. The DG also requires a 25 foot setback for the parking or the installation of a berm with plantings to a height of 3 feet above the curb. In this case the building is masonry and set back and screening are in place. The site plan complies with these requirements.

Staff has reviewed the remainder of the site plan for compliance to the UDC. Storm water management plans have been submitted for review. The City Engineer is currently reviewing the design of a water-quality bio-swale along the west side of the property. The applicant is also aware exterior lighting plans must be submitted

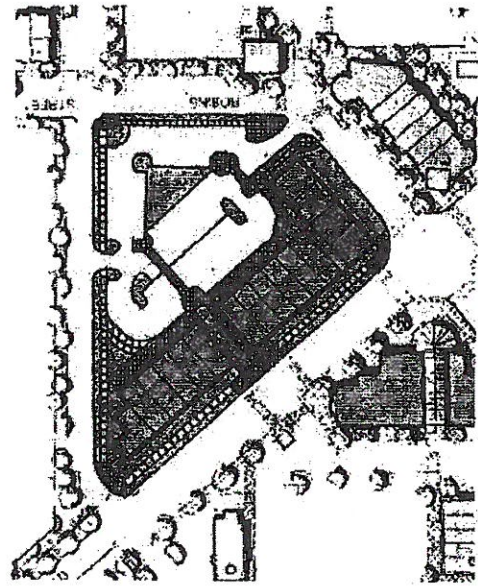
Recommendation: Community Development supports the Planning and Zoning Commission recommendation for approval of this site plan under the condition the storm water plan is approved by the City Engineer and the Council addresses the parking shortage with a shared agreement or the requirement of a variance request.

- A. Building Location. In District CPR-1 all buildings with any building face adjoining Center Point Road shall be constructed with the primary or front face of the building toward Center Point Road. The preferred location for new buildings in District CPR-1 shall be in accordance with Layout 1 or Layout 2 in Appendix B. Buildings configured in accordance with Layout 3 considered acceptable as an expansion of an existing building or new building where Layout 3 is approved by the City Council as part of a Conceptual Plan. Buildings and parking generally in accordance with Layout 4 in Appendix B are discouraged and are allowed only with approval by the City Council as part of a Conceptual Plan.
- B. Architectural Requirements. All buildings located in District CPR-1 and CPR-2 shall be constructed with the primary building material being an architectural masonry product. The desired architectural style or appearance is a distinctive style using clean or simple lines and features. Decorative and ornate architectural features generally not allowed. Individual building must comply with the architectural guidance standards.
- C. Access Management and Control. To minimize traffic congestion and conflicting traffic movements along Center Point Road from Blairs Ferry Road to Boysen Road the following access management and control standards shall generally be applicable.
1. No driveway access directly to Center Point Road shall be permitted within 200 feet of any public street intersecting Center Point Road.
 2. No driveway shall be permitted within 200 feet of an existing driveway.
 3. All driveways and parking lots along Center Point Road shall be developed in a manner in which there will be connectivity between lots. The connectivity requirement is to encourage the movement of vehicles to public streets by means other than direct driveway access to Center Point Road.
- D. Conceptual Plan Approval. The standards set forth for building location, architectural requirements and access management and control in the CPR District are inherently discretionary. The final decision with respect to building location, architectural requirements and access management and control requirements in the CPR District rests with the City Council. Any party considering a development with the CPR District that would need to comply with any or all of these three standards is encouraged to submit a Conceptual Plan for review and consideration by the City Council.

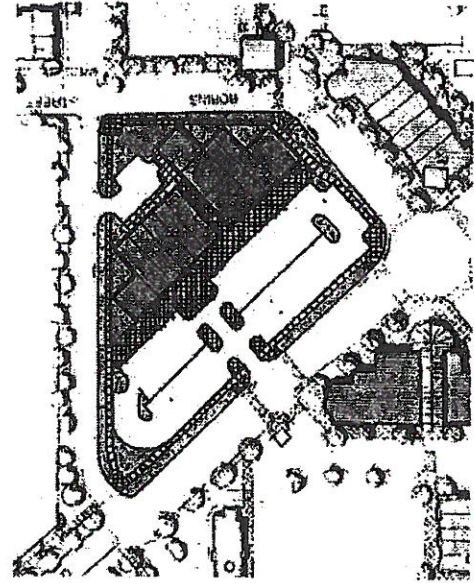
1. A Conceptual Plan must show the building layout including driveway and access. The Conceptual Plan must show an illustration of the architectural features of the building and identify proposed building materials. It is preferred, but not required, for the Conceptual Plan to illustrate the architectural style in color.
2. The Conceptual Plan must be sufficiently complete to allow the City to review and consider the issues of building location, architectural requirements and access. The Conceptual Plan is not required to meet additional standards set forth for a site plan.
3. The Conceptual Plan shall be submitted on drawings not larger than 11-inch by 17-inch.
4. The Conceptual Plan shall be submitted to the Zoning Administrator. The number of copies required shall be as determined by the Zoning Administrator.
5. Within 35 days after receipt of a Conceptual Plan the Zoning Administrator shall complete its review in writing.
6. Following completion of the review by the Zoning Administrator, the Zoning Administrator will be reviewed by the Planning and Zoning Commission. The Zoning Administrator shall place the Conceptual Plan on the next agenda of the Planning and Zoning Commission.
7. The Planning and Zoning Commission shall consider the Conceptual Plan within 45 days after referral from the Zoning Administrator. Following review by the Planning and Zoning Commission, or the passage of 45 days without consideration by the Planning and Zoning Commission, the Conceptual Plan will be placed on the next available agenda of the City Council for consideration.
8. The City Council shall consider and take action on the Conceptual Plan within 45 days after referral. In the event the City Council takes no action within 45 days the Conceptual Plan shall be deemed to be denied, unless both parties mutually agree to an extension of the 45 day period.
9. Construction of the proposed buildings set forth in an approved or conditionally approved Conceptual Plan must be initiated within 36 months following final action by the City Council to approve or conditionally approve the Conceptual Plan. The period of validity of a Conceptual Plan may be extended by the City Council.

APPENDIX B

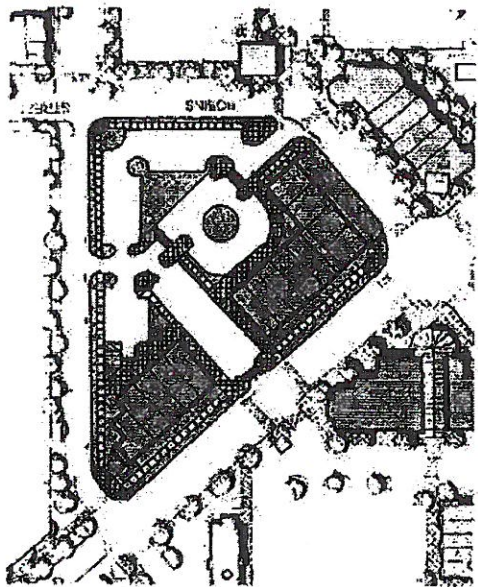
BUILDING LAYOUT IN DISTRICT CPR-1



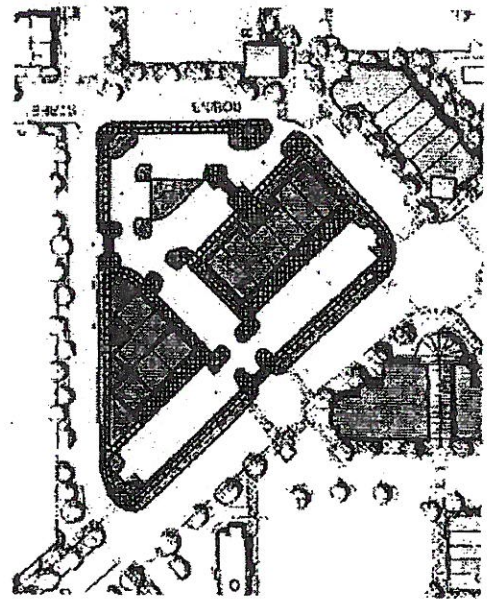
Layout 1



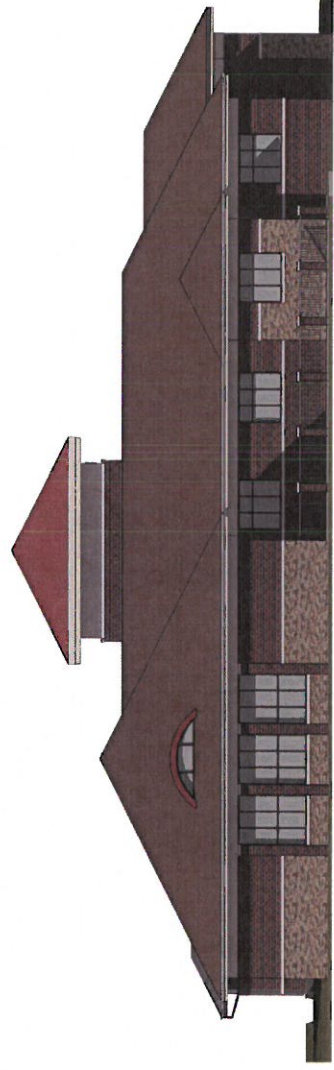
Layout 4



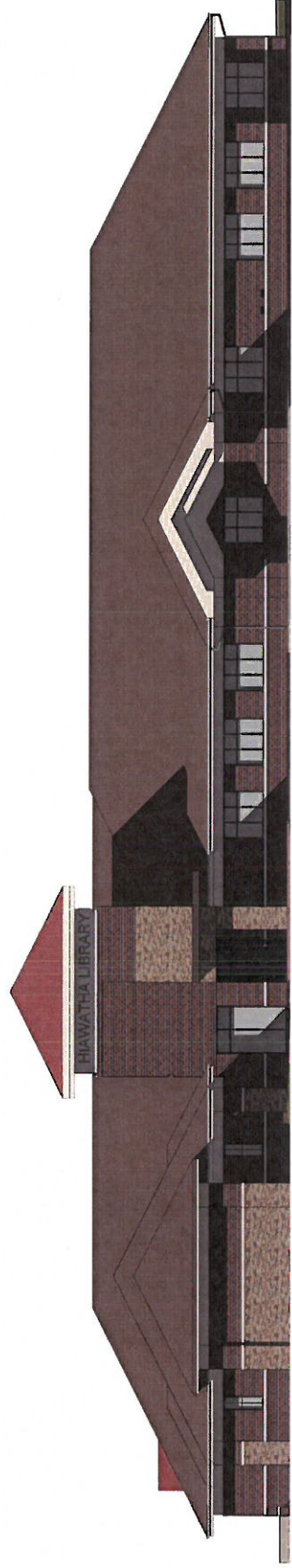
Layout 2



Layout 3



4 WEST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

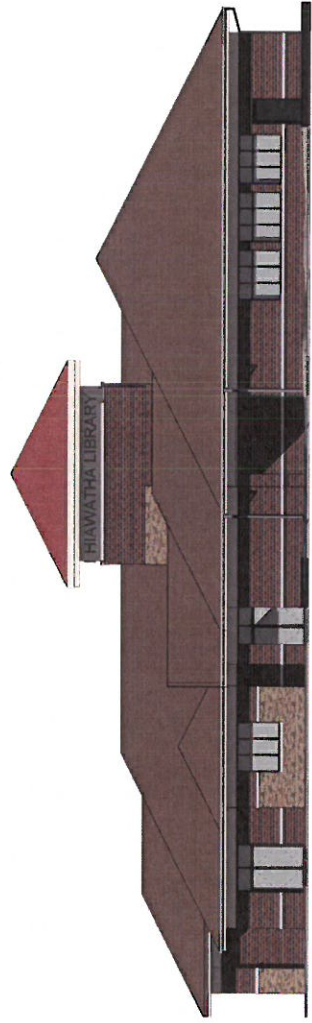
Exterior Elevations

09/26/2017

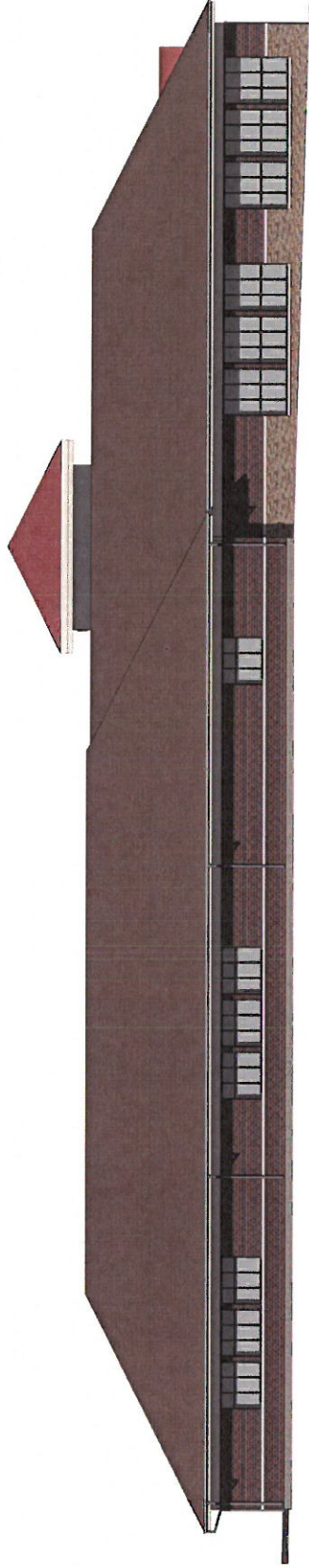


FUSION
ARCHITECTS, INC.

3B-3



3 EAST ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

Exterior Elevations
09/26/2017

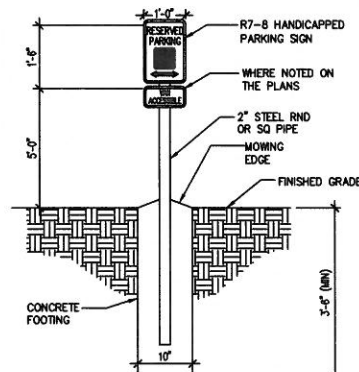


FUSION
ARCHITECTS, INC.

NOTE: THE STANDARD DETAILS LISTED IN THIS TABLE ARE APPLICABLE TO BOTH THE PRIVATE AND PUBLIC IMPROVEMENTS INDICATED ON THESE PLANS

DETAIL*	DESCRIPTION
1200-021	WARNING SIGNS USED IN CONSTRUCTION
1200-023	BARRICADES AND CHANNELIZING DEVICES
1200-039	CONSTRUCTION IN ONE LANE OF LOW SPEED (25 MPH) 2-LANE 2-WAY STREET WITHOUT FLAGGER
1200-060	SIDEWALK CLOSURE IN COMMERCIAL AREA WITH ON-STREET PARKING
1300-020	SILT FENCE
1300-025	CURB INLET PROTECTION
1300-025	SLOPE PROTECTION DETAILS (WOOD EXCELSIOR MAT) (2 SHTS)
1300-050	TEMPORARY SEDIMENT BASIN
1300-060	STABILIZED CONSTRUCTION ENTRANCE
2200-020	STANDARD PIPE ENVELOPES FOR CIRCULAR PIPES
2200-031	STANDARD TRENCH SECTION IN SOIL
2300-021	SANITARY SEWER/WATERMAIN PIPE SEPARATION REQUIREMENTS
2300-060	SANITARY SERVICE LINE (2 SHTS)
2400-020	PIPE INSTALLATION
2400-021	STORM SEWER/WATER MAIN PIPE SEPARATION REQUIREMENTS
2400-023	INSTALLATION OF CONNECTED PIPE JOINTS
2400-040	MANHOLE AND PIPE SIZES
2400-041	STANDARD STORM SEWER MANHOLE
2400-060	CURB AND APRON INTAKE SINGLE UNIT
2400-064	METRO RA-3 INTAKE (3 SHTS)
2400-091	SUBDRAIN CLEANOUT FOR NON-TRAFFIC AREA
2700-010	CURBING DETAILS
2700-021	TRANSVERSE CONTRACTION JOINTS (2 SHTS)
2700-022	LONGITUDINAL CONTRACTION JOINTS
2700-023	EXPANSION JOINTS
2700-090	FULL DEPTH REPAIR - PC CONCRETE WITH DOWELS
2700-200	GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK
2700-201	GENERAL SIDEWALK AND CURB RAMP DETAILS
2700-202	STD. CURB RAMP OUTSIDE OF INTERSECTION RADIUS
2700-203	STD. CURB RAMP FOR SIDEWALK WITH PARKING
2700-204	RADIAL CURB RAMP FOR SIDEWALK WITH PARKING
2700-206	DETECTABLE WARNING PLACEMENT

*MOST CURRENT DETAIL SHALL APPLY



NOTE:
INSTALL SIGNS 12" BEHIND PCC SIDEWALK AT THE CENTER OF THE HANDICAPPED PARKING SPACES, OR ON BUILDING WHERE REQUIRED.

HANDICAPPED PARKING SIGN
NOT TO SCALE

DEMOLITION AND REMOVAL NOTES:

- GENERAL MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTORS ARE RESPONSIBLE FOR VISITING THE SITE AND FAMILIARIZING THEMSELVES WITH THE EXISTING SITE AND BUILDING CONDITIONS WHICH EFFECT THEIR RESPECTIVE PORTIONS OF WORK. ADDITIONS TO THE CONTRACT SUM WILL NOT BE GRANTED FOR DEMOLITION, PATCHING, OR REPAIR WORK REQUIRED TO SATISFY THE INTENT OF CONTRACT DOCUMENTS WHICH ARE VISIBLY EVIDENT UPON INSPECTION OF THE EXISTING FACILITY.
- CONTRACTORS ARE TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY KNOWN DISCREPANCIES IN THE CONTRACT DOCUMENTS WHICH MAY AFFECT THE SCOPE OF WORK IN ADVANCE OF THE BID SUBMISSION TO ALLOW FOR ISSUANCE OF AN ADDENDUM TO CLARIFY THE BID DOCUMENTS.
- CONTRACTORS ARE RESPONSIBLE FOR THE DEMOLITION OF ITEMS PERTAINING TO THEIR RESPECTIVE TRADES, UNLESS SPECIFICALLY STATED OTHERWISE IN THE DRAWINGS OR SPECIFICATIONS. CONTRACTS FOR NEW CONSTRUCTION INCLUDE THE DEMOLITION OF ALL GENERAL MECHANICAL, PLUMBING AND ELECTRICAL ITEMS NECESSARY TO INCORPORATE WORK AS DESIGNED AND DETAILED IN THE CONTRACT DOCUMENTS.
- TYPICALLY REMOVE ALL ITEMS INTACT, SAVE FOR REUSE THOSE ITEMS SCHEDULED TO BE RELOCATED OR REUSED. ITEMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: LIGHT FIXTURES, LIGHT POLES, FENCING AND MISCELLANEOUS ACCESSORIES ITEMS. REVIEW WITH OWNER ITEMS NOT INDICATED TO BE REUSED WHICH ARE DESIGNATED TO BE STORED FOR FUTURE USE BY THE OWNER. PROPERLY DISPOSE OF ITEMS NOT SCHEDULED TO BE REUSED OR STORED.
- GENERAL CONTRACTOR AND RESPECTIVE SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLETE DEMOLITION AND ASSOCIATED EARTHWORK AND LANDSCAPING OF ALL SURFACES AFFECTED BY THE REMOVAL OF EXISTING CONSTRUCTION, PIPING, EQUIPMENT, AND UTILITY LINKS INDICATED OR SCHEDULED TO BE REMOVED.
- PROJECT WORK AREAS SHALL BE BROOM CLEANED AT THE CONCLUSION OF EACH WORK DAY. REMOVE AND PROPERLY DISPOSE OF ALL RUBBISH A MINIMUM OF ONCE A WEEK DURING THE CONSTRUCTION PERIOD.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROTECTION TO ALL SURFACES, EQUIPMENT, AND ASSOCIATED ITEMS WHICH REMAIN DURING THE DEMOLITION AND CONSTRUCTION PHASES OF THE PROJECT. ALL SUCH SURFACES AND ITEMS ARE TO BE PROPERLY CLEANED AND RETURNED TO ORIGINAL CONDITION AT THE CONCLUSION OF CONSTRUCTION.
- CONTRACTORS ARE RESPONSIBLE FOR PROTECTION OF EXISTING LANDSCAPING, GRASS AREAS, BUSHES, SHRUBS, AND OTHER ITEMS WHICH REMAIN DURING THE DEMOLITION AND CONSTRUCTION PHASES OF THE PROJECT.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MISCELLANEOUS EXISTING ITEMS AS NECESSARY TO COMPLETE THE PROJECT.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ITEMS OFF-SITE THAT ARE UNSUITABLE FOR REUSE AND/OR ARE UNWANTED BY THE OWNER. THESE ITEMS SHALL BE DISPOSED OF PER ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL HAULING, TRUCKING, AND DISPOSAL FEES.
- UNDERGROUND STRUCTURES MAY BE DISCOVERED DURING GRADING AND DEMOLITION THAT ARE NOT KNOWN TO EXIST THEREFORE NOT SHOWN ON THE PLANS, IF SUCH STRUCTURES ARE FOUND CONTRACTOR SHALL CONTACT OWNER IMMEDIATELY.
- CARE SHALL BE TAKEN DURING CONCRETE REMOVALS ADJACENT TO EXISTING BUILDINGS THAT SUCH ACTIVITIES DO NOT CREATE VIBRATIONS THAT COULD CAUSE DAMAGE TO EXISTING BUILDINGS.

GENERAL NOTES

- THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM RECORDS MADE AVAILABLE TO HALL & HALL ENGINEERS, INC. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN TO HALL & HALL, INC. AND NOT SHOWN ON THIS DRAWING. THE VERIFICATION AND EXISTENCE OF, AND THE DETERMINATION OF THE EXACT LOCATION OF, UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR(S).
- NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
- IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
- THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
- ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC., TO MATCH THE NEW SURFACE FOR UTILITIES THAT ARE NOT TO BE ABANDONED OR REMOVED.
- CONTRACTOR SHALL REFER TO BUILDING PLANS FOR BUILDING DIMENSIONS, STOOP SIZES AND LOCATIONS, AND BUILDING UTILITY ENTRANCE LOCATIONS, SIZES AND ELEVATIONS.
- THE REMOVAL OF ALL EXISTING SIGNS, PAVEMENTS, BOLLARDS, LIGHT POLES, AND ALL OTHER MISCELLANEOUS REMOVAL ITEMS SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
- ALL DISPOSAL AND HAULING COSTS AND FEES ARE INCIDENTAL TO THE PROJECT.
- PAVEMENT REMOVAL BID ITEMS INCLUDES THE REMOVAL OF ALL PAVEMENT TYPES (PCC, ASPHALT, BRICK) FULL DEPTH. PAVEMENT REMOVAL ALSO INCLUDES SAWCUTTING FULL DEPTH PRIOR TO REMOVAL.
- CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES PER CR STANDARD DETAIL NO. 1300-060. INSTALLATION, ALL MAINTENANCE, AND REMOVAL IS INCIDENTAL.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CEDAR RAPIDS METROPOLITAN AREA STANDARD DETAILS AND SPECIFICATIONS (CURRENT VERSION). THESE SPECIFICATIONS AND DETAILS ARE AVAILABLE ON THE CITY OF CEDAR RAPIDS' WEBSITE www.cedar-rapids.org OR FOR PURCHASE AT CEDAR RAPIDS PUBLIC WORKS AND THE CITY OF MARION ENGINEERING DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE WATER, EQUIPMENT AND LABOR NECESSARY TO COMPLETELY WATER ALL SODDED AREAS. WATERINGS SHALL BE IN ACCORDANCE TO THE SOD SUPPLIER AND IS CONSIDERED INCIDENTAL TO THE SODDING.

SITE PREPARATION NOTES

- PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK. DISPOSAL SITES MUST BE APPROVED BY THE ENGINEER. OFF-SITE DISPOSAL SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNMENTAL REGULATIONS.
- KEEP ADJACENT PUBLIC STREETS AND PARKING AREAS FREE FROM SOIL AND DEBRIS GENERATED BY THE PROJECT. CLEAN SOIL AND DEBRIS FROM THE ADJACENT STREETS AND PARKING AREAS ON A DAILY BASIS.
- SAWCUT EDGES OF PAVEMENT FULL DEPTH PRIOR TO REMOVAL TO PREVENT DAMAGE TO ADJACENT SLABS AND FIXTURES.
- SEE STRUCTURAL PLANS AND SOILS REPORT FOR DETAILS ON ANY SPECIAL EXCAVATION AND FILL REQUIREMENTS.
- EXISTING FIELD TILE LINES ENCOUNTERED IN THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR IN ONE OF THE FOLLOWING WAYS:
A. CONNECT TILE TO THE NEAREST STORM SEWER.
B. DAYLIGHT TO FINISHED GROUND.
C. REPAIR TILE AND MAINTAIN SERVICE.
THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF A TILE IS ENCOUNTERED AND SHALL INDICATE THE METHOD OF RESOLVING THE CONFLICT. THE ENGINEER SHALL APPROVE THE PROPOSED METHOD. THE LOCATION OF THE FIELD TILE SHALL BE RECORDED ON THE CONSTRUCTION RECORD DOCUMENTS.

EROSION CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED PER THE CEDAR RAPIDS METRO STANDARD DETAILS/SPECIFICATIONS, PER THE STORM WATER POLLUTION PREVENTION PLAN AND AS DEEMED NECESSARY BY THE JURISDICTIONAL ENGINEER. CONTRACTOR SHALL BE PREPARED TO INSTALL ADDITIONAL MEASURES THAN THOSE SHOWN ON THE EROSION CONTROL PLAN IF SITE CONDITIONS WARRANT.
- EROSION CONTROL METHODS SHALL BE IN PLACE PRIOR TO AREAS BEING DISTURBED.
- EROSION CONTROL DEVICES SHALL BE CHECKED BY THE GENERAL CONTRACTOR EVERY SEVEN (7) DAYS AND AFTER EACH RAINFALL EVENT EQUAL TO 1/2" OR GREATER TO ENSURE WORKING ORDER.
- REPAIRS TO SOIL EROSION CONTROL DEVICES DEEMED NECESSARY SHALL BE COMPLETED IMMEDIATELY UPON NOTIFICATION OR WITHIN 24 HOURS IF WEATHER DELAYS.
- MINIMIZE SOIL EROSION AND TRANSPORT BY MAINTAINING ALL EXISTING VEGETATION GROWTH WITHIN THE PROJECT LIMITS FOR AS LONG AS POSSIBLE TO SERVE AS A NATURAL BUFFER. CONTRACTOR TO PROTECT ALL ADJACENT PROPERTIES FROM DISRUPTION AT ALL TIMES.
- THE CONTRACTOR SHALL STRIP AND STOCKPILE THE TOPSOIL (APPROX. TOP 0.5 FT.), AND RESPREAD THE TOPSOIL FOR FINISHED GRADE WORK (SWPP REQUIRED A MIN OF 4" OF TOPSOIL RESPREAD OVER ALL DISTURBED PORTIONS OF THE SITE, IF THERE IS NOT ENOUGH TOPSOIL STOCK PILED ON SITE THE CONTRACTOR SHALL IMPORT AND SPREAD TOPSOIL UNTIL AT LEAST 4" COVERS ALL DISTURBED AREAS).
- WHEN CONSTRUCTION ACTIVITIES ARE COMPLETE, RESPREAD TOPSOIL OVER THE DISTURBED SITE AT 4 TO 6 INCHES. THEN PROVIDE SEEDING ON THE RESPREAD TOPSOIL AS SPECIFIED IN SECTION 2900 OF THE CEDAR RAPIDS METROPOLITAN AREA STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- PROVIDE TEMPORARY SEEDING IN DISTURBED AREAS WHERE OPERATIONS WILL NOT COMMENCE OR PERMANENT SEEDING WILL NOT BE COMPLETED FOR A PERIOD OF 14 DAYS OR MORE.
- ALL SLOPES 4:1 OR GREATER SHALL BE COVERED WITH WOOD EXCELSIOR MATTING OR SODDED.
- CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY SEDIMENT BASINS PER METRO STANDARD DETAIL 1300-050 UNTIL FINAL GRADING AND SEEDING HAS BEEN PERFORMED ON THE SITE. CONTRACTOR SHALL REMOVE ALL SEDIMENT FROM THE BASINS ONCE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETE.
- SILT FENCES SHALL BE INSTALLED PER METRO STANDARD DETAIL 1300-020 AS SHOWN ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE SHALL BE INSTALLED AS NECESSARY BY THE CONTRACTOR. MAINTENANCE AND/OR REPLACEMENT OF THE SILT FENCE IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL INSTALL TEMPORARY SILT FENCES AROUND ALL INTAKES. EROSION CONTROL SOCKS OR EQUIVALENT SHALL BE USED AT THE DRIVE INTAKES ONCE THE SITE PAVING HAS BEEN COMPLETED. EROSION SOCKS SHALL BE MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED.
- STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER METRO STANDARD DETAIL 1300-060, IF THE EXISTING DRIVE IS NOT UTILIZED.
- SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
- ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
- CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
- MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
- THE LAST 20 FT OF EACH END OF ALL SILT FENCE OR FILTER SOCKS THAT IS INSTALLED SHALL BE TURNED UPHILL ("J"-HOOK METHOD).
- ADDITIONAL SILT FENCE MAY BE NEEDED IN AREA SHOWN AS PAVEMENT DEPENDING ON THE PHASING OF THE PAVEMENT INSTALLATION.
- APPROXIMATELY 0.6 ACRES WILL BE DISTURBED DURING CONSTRUCTION ACTIVITIES.

PAVEMENT GENERAL NOTES

- SEE BUILDING PLANS AND/OR GEOTECHNICAL REPORT FOR ANY SPECIAL EXCAVATION AND FILL REQUIREMENTS.
- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- COMPACT SUBGRADE BENEATH PAVEMENTS IN ACCORDANCE WITH SOILS REPORT AND CEDAR RAPIDS SPECIFICATIONS.
- GRANULAR SUBBASE FOR PAVEMENTS SHALL MEET THE CEDAR RAPIDS SPECIFICATIONS.
- ALL CONCRETE PAVEMENT WORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEERING REPORT PREPARED FOR THIS SITE.
- ALL ACCESSIBLE SPACES MUST HAVE A 2% SLOPE OR LESS IN ALL DIRECTIONS.

PCC PAVEMENT NOTES

- MINIMUM 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE USED FOR PAVEMENTS SHALL BE 4000 PSI. CONCRETE SHALL BE C-3 OR C-4 WITH TYPE 1 CEMENT. AIR CONTENT SHALL BE 6-1/2% ± 1.5%. LIMESTONE AGGREGATE SHALL BE 1-1/2" MAXIMUM SIZE. AIR ENTRAINMENT ADMIXTURES AND WATER REDUCING ADMIXTURES SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4103. DURABILITY FOR PORTLAND CEMENT CONCRETE SHALL BE CLASS 2.
- JOINT SEALER SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4136 FOR HOT POURED JOINT SEALER.
- CURING COMPOUND (WHITE, DARK OR CLEAR) SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR SECTION 4105. APPLICATION METHOD AND CURING SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 2301.19. FLYASH PER IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4108 MAY BE SUBSTITUTED FOR CEMENT AT THE RATES SPECIFIED IN SECTION 2301.04E AFTER NOTIFICATION AND AUTHORIZATION BY THE OWNER'S REPRESENTATIVE.
- PAVEMENT THE BARS AND DOWEL BARS SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151. EPOXY COATING, WHEN SPECIFIED, SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151.03B.
- CURBS SHALL BE CAST INTEGRAL WITH CONCRETE PAVEMENT UNLESS NOTED OTHERWISE. EDGES SHALL BE ROUNDED BUT NOT ROLLED.
- ONE INCH PREFORMED FOAM EXPANSION JOINT MATERIAL SONOFLEX "F" BY SONOBORN OR APPROVED EQUAL SHALL BE PLACED BETWEEN NEW PAVEMENT CONSTRUCTION AND THE FACES OF BUILDINGS, STOOPS, EXISTING SLABS, AND OTHER FIXTURES, UNLESS NOTED ON THE DRAWINGS. JOINTS AT THESE LOCATIONS SHALL BE SEALED WITH A SELF-LEVELING POLYURETHANE SUCH AS SONOLASTIC SL-1 OR APPROVED EQUAL.
- ALL PARKING PAVING SHALL BE 6" OF P.C.C. PAVEMENT OVER 6" OF COMPACTED GRANULAR SUBGRADE.
- THE PAVEMENT FOR ALL SIDEWALKS SHALL BE 4" OF P.C.C. PAVEMENT OVER COMPACTED SUBGRADE, EXCEPT AT DRIVES, SIDEWALK SHALL MATCH DRIVE THICKNESS

GRADING NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CEDAR RAPIDS METRO AREA STANDARD SPECIFICATIONS, LATEST ADDITION.
- CONTRACTOR SHALL MEET THE SPECIFICATIONS LISTED WITHIN THE GEOTECHNICAL ENGINEERING REPORT OF RECORD COMPLETED FOR THIS SITE, IF AVAILABLE.
- COORDINATE CLEARING AND GRUBBING LIMITS, PROJECT PHASING, DEBRIS STOCKPILE LOCATIONS AND DEBRIS DISPOSAL WITH OWNER.
- CONTRACTOR SHALL STRIP ALL ORGANIC MATERIAL WITHIN GRADING LIMITS. A MINIMUM 6" DEPTH. REFER TO CEDAR RAPIDS METRO SPECS FOR ALL OTHER GRADING REQUIREMENTS.
- VERIFY STOCKPILE LOCATION WITH OWNER PRIOR TO COMMENCING WORK.
- THE PROPOSED CONTOURS SHOWN FOR THE SITE REPRESENT THE TOP OF FINISH GROUND.

WATER DISTRIBUTION NOTES

- ALL PERMITS SHALL BE SECURED AND FEES SHALL BE PAID PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL CONTACT HIWATHA WATER DEPARTMENT (319) 393-5556 TO OBTAIN A 'START WORK' ORDER 24 HOURS PRIOR TO BEGINNING CONSTRUCTION OF WATER SYSTEM IMPROVEMENTS.
- CONSTRUCTION OF PUBLIC AND PRIVATE WATER SYSTEM IMPROVEMENTS REQUIRES AN APPROVED PLAN SET ON FILE IN THE HIWATHA WATER DEPARTMENT, 101 EMMONS STREET.
- ON SITE INSPECTION OF WATER MAIN INSTALLATION WILL BE PROVIDED BY THE MUNICIPAL UTILITY.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT IOWA ONE-CALL 1-800-292-8989 PRIOR TO EXCAVATION.
- WATER MAIN MATERIALS, INSTALLATION AND TESTING MUST COMPLY WITH THE CEDAR RAPIDS METROPOLITAN AREA DESIGN STANDARDS AND SPECIFICATIONS. THIS APPLIES TO BOTH PUBLIC AND PRIVATE WATER MAINS AND LARGE SERVICE LINES (3" OR LARGER) ON THE DISTRIBUTION SIDE OF THE METER. FOR PUBLICLY ACCEPTED IMPROVEMENTS DONE WITH SUBDIVISION WORK, THE CONTRACTOR SHALL PURCHASE HYDRANTS AND VALVES FROM THE CITY PER CURRENT POLICY. EXCEPTIONS MUST BE PRE-APPROVED BY PUBLIC WORKS.
- CONTRACTOR SHALL OBTAIN APPROVAL FROM THE HIWATHA WATER DEPARTMENT AND THE CITY'S ENGINEER FOR ANY VARIANCE FROM THE APPROVED PLAN.
- CONTRACTOR SHALL CONTACT HIWATHA WATER DEPARTMENT (319) 393-5556 FOR THE FOLLOWING SERVICES: WATER SHUT DOWN, TAP, FLUSH & FILL, SAMPLING AND OTHER SERVICES RELATED TO THE WATER SYSTEM. DISPOSAL OF HIGHLY CHLORINATED WATER SHALL BE IN COMPLIANCE WITH LOCAL, STATE & FEDERAL CODES.
- FOR WATER MAINS THAT ARE TO BE ACCEPTED INTO THE PUBLIC WATER DISTRIBUTION SYSTEM, THE CONTRACTOR SHALL WARRANT THE WORKMANSHIP AND MATERIAL OF THE INSTALLED WATER MAINS FOR A PERIOD OF TWO (2) YEARS FROM DATE OF ACCEPTANCE, AND SHALL FURNISH THE MUNICIPALITY WITH A MAINTENANCE BOND COVERING THE COST OF THE WATER IMPROVEMENTS FOR THAT PERIOD.
- ALL SERVICE TAP MATERIALS ARE TO BE FURNISHED BY THE CONTRACTOR. THE WATER UTILITY WILL MAKE ALL TAPS USING CONTRACTOR SUPPLIED MATERIALS THAT COMPLY WITH CEDAR RAPIDS METRO AREA DESIGN STANDARDS AND SPECIFICATIONS.
- THE WATER UTILITY SHALL OPERATE ALL SYSTEM VALVES.
- TRACER WIRE IS REQUIRED ON ALL PRIVATE AND PUBLIC WATER MAIN 3 INCHES IN DIAMETER OR LARGER. HOLES IN VALVE BOXES FOR TRACER WIRE MUST BE DRILLED.
- WHERE WATER MAIN AND SANITARY SEWERS CROSS, ONE FULL (20 FOOT) LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SANITARY SEWER, AND THE VERTICAL DISTANCE SHOULD BE MAINTAINED 18 INCHES OR GREATER. WHERE WATER LINES AND SEWERS CROSS AND THE MINIMUM CLEARANCE CANNOT BE MAINTAINED, THE SEWER MUST BE CONSTRUCTED OF WATER MAIN GRADE AWWA C-900 SDR-18 PVC OR DUCTILE IRON PIPE WITH COMPRESSION FITTINGS OR MECHANICAL JOINTS IF WITHIN 10 FEET OF THE WATER MAIN.
- UNLESS SPECIFICALLY APPROVED OTHERWISE, ALL LATERAL CONNECTIONS TO EXISTING MAINS THAT HAVE BEEN PREVIOUSLY TESTED AND TURNED INTO SERVICE, THAT ARE 4-INCH OR LARGER, SHALL BE DONE BY LIVE TAP USING AN APPROVED TAPPING SLEEVE OR SADDLE AND VALVE.
- WATER MAINS AND LARGE SERVICES (3" OR LARGER) OVER 20 FEET IN LENGTH ARE REQUIRED TO BE DISINFECTED, FLUSHED, FILLED AND PRESSURE TESTED. PRESSURE / LEAKAGE TESTS ARE CONDUCTED AT 150 PSI UNDER THE DIRECTION OF THE HIWATHA WATER UTILITY.
- ALL WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C 651. NO WATER MAIN SHALL BE PLACED INTO SERVICE UNTIL ALL SAMPLES HAVE PASSED BACTERIOLOGICAL TESTS.
- HEAVILY CHLORINATED WATER MAY NOT REMAIN IN THE PIPELINE FOR MORE THAN 48 HOURS. HEAVILY CHLORINATED WATER SHALL BE FLUSHED THOROUGHLY FROM THE PIPELINE, UNTIL THE REPLACEMENT WATER THROUGHOUT ITS LENGTH WILL BE EQUAL IN QUALITY TO PERMANENT SOURCE OF SUPPLY. THE CHLORINATED WATER SHALL BE NEUTRALIZED BY TREATING WITH SODIUM BISULFITE, SODIUM SULFITE, SODIUM THIOSULFATE OR EQUAL APPROVED CHEMICAL BEFORE DISPOSAL. IN ORDER TO PREVENT DAMAGE TO THE PIPE LINING AND VALVE COMPONENTS FROM DRY POWDER OR TABLET CHLORINE THE FOLLOWING PROCEDURE MUST BE USED. IN CASES WHERE THE CONTRACTOR IS UTILIZING POWDER OR TABLET CHLORINE DEPOSITED INTO THE WATER MAIN WHILE IT IS BEING INSTALLED, THE MAIN MUST BE FLUSHED WITHIN 48 HOURS. THE CONTRACTOR IS RESPONSIBLE FOR WATER MAIN FLUSHING OPERATIONS. THIS RESPONSIBILITY INCLUDES BUT IS NOT LIMITED TO VERIFYING PROCEDURES, PROVIDING ADEQUATE PERSONNEL AND EQUIPMENT, OBTAINING APPROVAL TO DISCHARGE INTO STORM OR SANITARY SEWERS, MONITORING SEWERS FOR BACK-UPS, MONITORING FLOW AND DE-CHLORINATION RESULTS. WATER DIVISION PERSONNEL WILL OPERATE VALVES AS REQUESTED.
- IF INSTALLATION OF A CASING PIPE IS REQUIRED, IT SHALL INCLUDE CASING SPACERS AND WATERTIGHT MECHANICAL RUBBER END SEALS (METRO SPEC. 02250).
- CONTRACTOR SHALL USE CHLORINE TABLETS GLUED TO THE TOP OF THE PIPE WITH FOOD GRADE GLUE AS PER AWWA STANDARD C651.
- ALL WATER MAIN PIPE DELIVERED TO THE CONSTRUCTION SITE SHALL HAVE A REMOVABLE PLASTIC PLUG INSTALLED TO KEEP THE INSIDE OF THE PIPE CLEAN DURING TRANSIT TO THE JOB SITE AND IN STORAGE UNTIL THE PIPE HAS BEEN INSTALLED.
- ONE CONNECTION PER LOT AND ONE METER, ONE OUTSIDE SHUT OFF PER METER.
- WATER CONNECTION FEES MUST BE PAID BEFORE WATER MAIN CAN BE TAPPED. CONTACT WATER DEPARTMENT FOR FEE SCHEDULE.
- SEE ARCHITECTURAL PLANS FOR WATER SERVICE SIZE, TYPE, AND LOCATION.
- ALL EXISTING WATER MAIN STUBS THAT ARE NOT UTILIZED WITH THIS PROJECT SHALL BE CUT OFF AT THE MAIN.

SOD AND RESTORATION:

- ALL NON PAVED AREAS SHALL BE RESTORED WITH SOD, WATERING SHALL BE CONSIDERED INCIDENTAL.

UTILITY NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CEDAR RAPIDS METROPOLITAN AREA STANDARD SPECIFICATIONS AS APPROVED BY THE IOWA DNR, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- VERIFY THE ELEVATION OF POSSIBLE CONFLICTING UTILITIES PRIOR TO CONSTRUCTING PROPOSED WATER MAINS, SANITARY SEWERS, STORM SEWERS, ALL SERVICES, ETC.
- THE SITE SUB-CONTRACTOR SHALL MAKE PROVISIONS TO HANDLE WATER ENCOUNTERED DURING CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE OF THE PROPOSED METHOD OF DEWATERING.

SANITARY SEWER

- SEE PLUMBING PLANS FOR SANITARY SERVICE DETAILS FOR BUILDING ADDITION.

DRAWN BY: CJZ				
CHECKED BY: BDV				
APPROVED BY: BDV				
DATE: 10/09/17				
FIELD BOOK: 240	NO.	REVISION DESCRIPTION	APPROVED	DATE

HALL & HALL ENGINEERS, INC.
Leaders in Land Development Since 1953

1850 BOYSCON ROAD, HIWATHA, IOWA 52233
PHONE: (319) 362-9548 FAX: (319) 362-7959

CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE
LAND SURVEYING • LAND DEVELOPMENT PLANNING

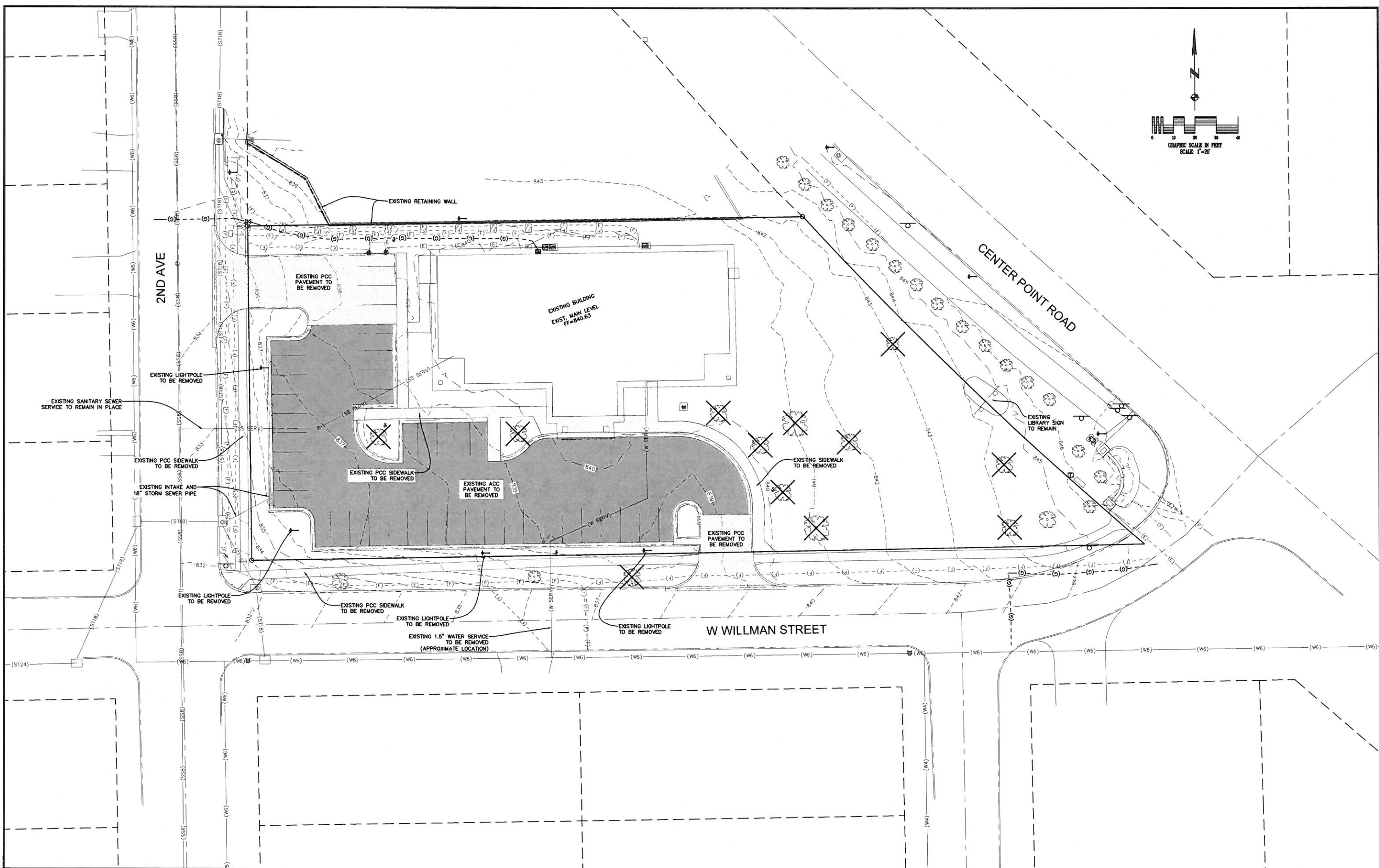
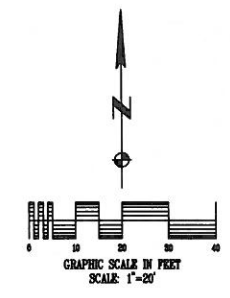
Hiawatha!

HIWATHA LIBRARY EXPANSION
IN THE CITY OF HIWATHA, LINN CO, IOWA

GENERAL NOTES & DETAILS

PROJECT NO: 10293-17-12

C2.0



DRAWN BY: CJZ
 CHECKED BY: BDV
 APPROVED BY: BDV
 DATE: 10/09/17
 FIELD BOOK: 240

NO.	REVISION DESCRIPTION	APPROVED	DATE

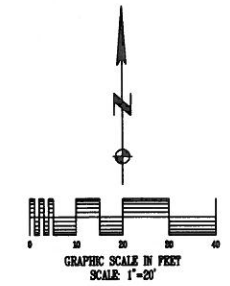
Hiawatha! **BLAIRS** **FRY ROANE ENGINEERS, INC.**
Leaders in Land Development Since 1957
 1860 BOYSON ROAD, HIAWATHA, IOWA 52233
 PHONE: (319) 362-8048 FAX: (319) 362-7029
 CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE
 LAND SURVEYING • LAND DEVELOPMENT PLANNING
 www.hallerg.com

HIAWATHA LIBRARY EXPANSION
 IN THE CITY OF HIAWATHA, LINN CO, IOWA

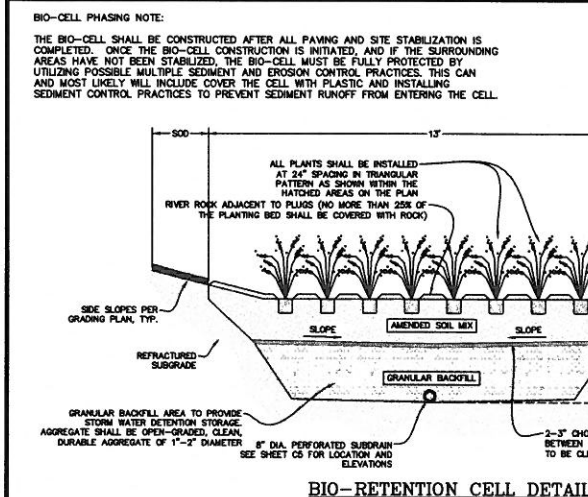
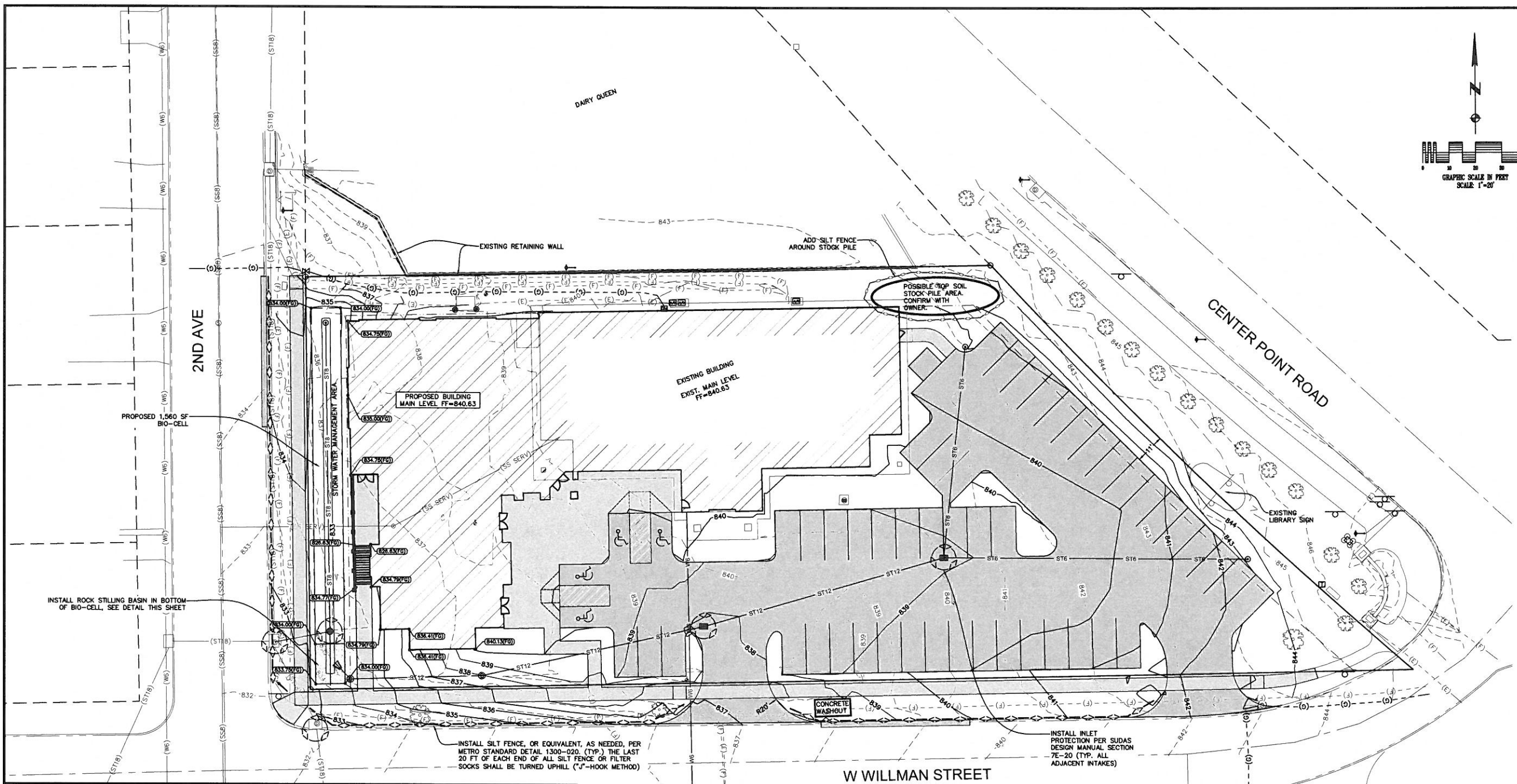
EXISTING SITE CONDITIONS & DEMOLITION PLAN
 PROJECT NO: 10293-17-12

C3.0

CAD File: I:\projects\10293-17-12-Hiawatha Library Expansion\DWG\10293-17-12_P01.dwg Date Plotted: Oct 09, 2017 - 10:50am Plotted By: BDV



- SEE SHEET C1.0 FOR EROSION CONTROL AND GRADING NOTES
- CONTRACTOR SHALL PROTECT ALL ADJOINING PROPERTIES FROM DISRUPTION DURING CONSTRUCTION ACTIVITIES.
- CONSTRUCTION ENTRANCE LOCATION TO BE DETERMINED BY CONTRACTOR
- ALL DISTURBED NON-PAVED AREAS TO BE SODDED.



BIORETENTION DESIGN SPECIFICATIONS

SOIL MIX SPECIFICATION

- BIORETENTION SOIL MIX REQUIREMENTS**
SOIL MIXTURE SHALL BE 50% WASHED CONCRETE SAND, AND 20% FINELY (1/4"-3/8") SCREENED COMPOST (50% PASSING #20 SIEVE & 100% PASSING #10 SIEVE). THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVIDE AN OBSTACLE TO THE PLANTING OR MAINTENANCE OPERATIONS.
- COMPACTION IN BIORETENTION AREAS**
IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF THE BIORETENTION AREA AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL. IF BIORETENTION AREAS ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF-TYPE TIRES.
COMPACTION SHALL BE AVOIDED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW. THESE TILLING OPERATIONS ARE TO RESTRUCTURE THE SOIL PROFILE THROUGH THE 12-INCH COMPACTION ZONE.
- SOIL INSTALLATION**
INSTALLATION OF SOIL MIX MUST BE DONE IN A MANNER THAT WILL ENSURE ADEQUATE FILTRATION. AFTER SCARPING THE BASE OF THE FACILITY AND PLACING SUBDRAIN, PLACE SOIL MIX IN 8"-12" LIFTS. LIFTS ARE NOT TO BE COMPACTED BUT ARE PERFORMED IN ORDER TO REDUCE THE POSSIBILITY OF EXCESSIVE SETTLEMENT. LIFTS MAY BE LIGHTLY WATERED TO ENCOURAGE NATURAL COMPACTION.
AVOID OVER COMPACTION BY ALLOWING TIME FOR NATURAL COMPACTION AND SETTLEMENT. NO ADDITIONAL MANUAL COMPACTION OF SOIL IS NECESSARY. RAKE SOIL MATERIAL AS NEEDED TO LEVEL OUT. OVERFILL ABOVE THE PROPOSED SURFACE GRADE TO ACCOMMODATE NATURAL SETTLEMENT TO PROPER GRADE. DEPENDING UPON THE SOIL MATERIAL, UP TO 20% NATURAL COMPACTION MAY OCCUR.

MULCH SPECIFICATIONS

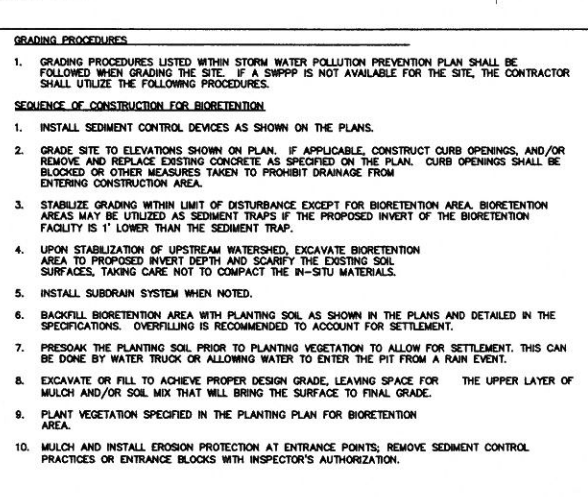
- ACCEPTABLE MULCH SHALL BE SHREDED HARDWOOD ONLY. MULCH MUST BE WELL AGED, UNIFORM IN COLOR, AND FREE OF FOREIGN MATERIAL INCLUDING PLANT MATERIAL. WELL-AGED MULCH IS DEFINED AS MULCH THAT HAS BEEN STOCKPILED OR STORED FOR AT LEAST 12 MONTHS.

GRADING PROCEDURES

GRADING PROCEDURES LISTED WITHIN STORM WATER POLLUTION PREVENTION PLAN SHALL BE FOLLOWED WHEN GRADING THE SITE. IF A SWPPP IS NOT AVAILABLE FOR THE SITE, THE CONTRACTOR SHALL UTILIZE THE FOLLOWING PROCEDURES.

SEQUENCE OF CONSTRUCTION FOR BIORETENTION

- INSTALL SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLANS.
- GRADE SITE TO ELEVATIONS SHOWN ON PLAN. IF APPLICABLE, CONSTRUCT CURB OPENINGS, AND/OR REMOVE AND REPLACE EXISTING CONCRETE AS SPECIFIED ON THE PLAN. CURB OPENINGS SHALL BE BLOCKED OR OTHER MEASURES TAKEN TO PROHIBIT DRAINAGE FROM ENTERING CONSTRUCTION AREA.
- STABILIZE GRADING WITHIN LIMIT OF DISTURBANCE EXCEPT FOR BIORETENTION AREA. BIORETENTION AREAS MAY BE UTILIZED AS SEDIMENT TRAPS IF THE PROPOSED INVERT OF THE BIORETENTION FACILITY IS 1' LOWER THAN THE SEDIMENT TRAP.
- UPON STABILIZATION OF UPSTREAM WATERSHED, EXCAVATE BIORETENTION AREA TO PROPOSED INVERT DEPTH AND SCARIFY THE EXISTING SOIL SURFACES, TAKING CARE NOT TO COMPACT THE IN-SITU MATERIALS.
- INSTALL SUBDRAIN SYSTEM WHEN NOTED.
- BACKFILL BIORETENTION AREA WITH PLANTING SOIL AS SHOWN IN THE PLANS AND DETAILED IN THE SPECIFICATIONS. OVERFILLING IS RECOMMENDED TO ACCOUNT FOR SETTLEMENT.
- PRESOAK THE PLANTING SOIL PRIOR TO PLANTING VEGETATION TO ALLOW FOR SETTLEMENT. THIS CAN BE DONE BY WATER TRUCK OR ALLOWING WATER TO ENTER THE PIT FROM A RAIN EVENT.
- EXCAVATE OR FILL TO ACHIEVE PROPER DESIGN GRADE, LEAVING SPACE FOR THE UPPER LAYER OF MULCH AND/OR SOIL MIX THAT WILL BRING THE SURFACE TO FINAL GRADE.
- PLANT VEGETATION SPECIFIED IN THE PLANTING PLAN FOR BIORETENTION AREA.
- MULCH AND INSTALL EROSION PROTECTION AT ENTRANCE POINTS; REMOVE SEDIMENT CONTROL PRACTICES OR ENTRANCE BLOCKS WITH INSPECTOR'S AUTHORIZATION.



DRAWN BY: C.J.Z					
CHECKED BY: BDV					
APPROVED BY: BDV					
DATE: 10/09/17					
FIELD BOOK: 240	NO.	REVISION DESCRIPTION	APPROVED	DATE	

Hiawatha!

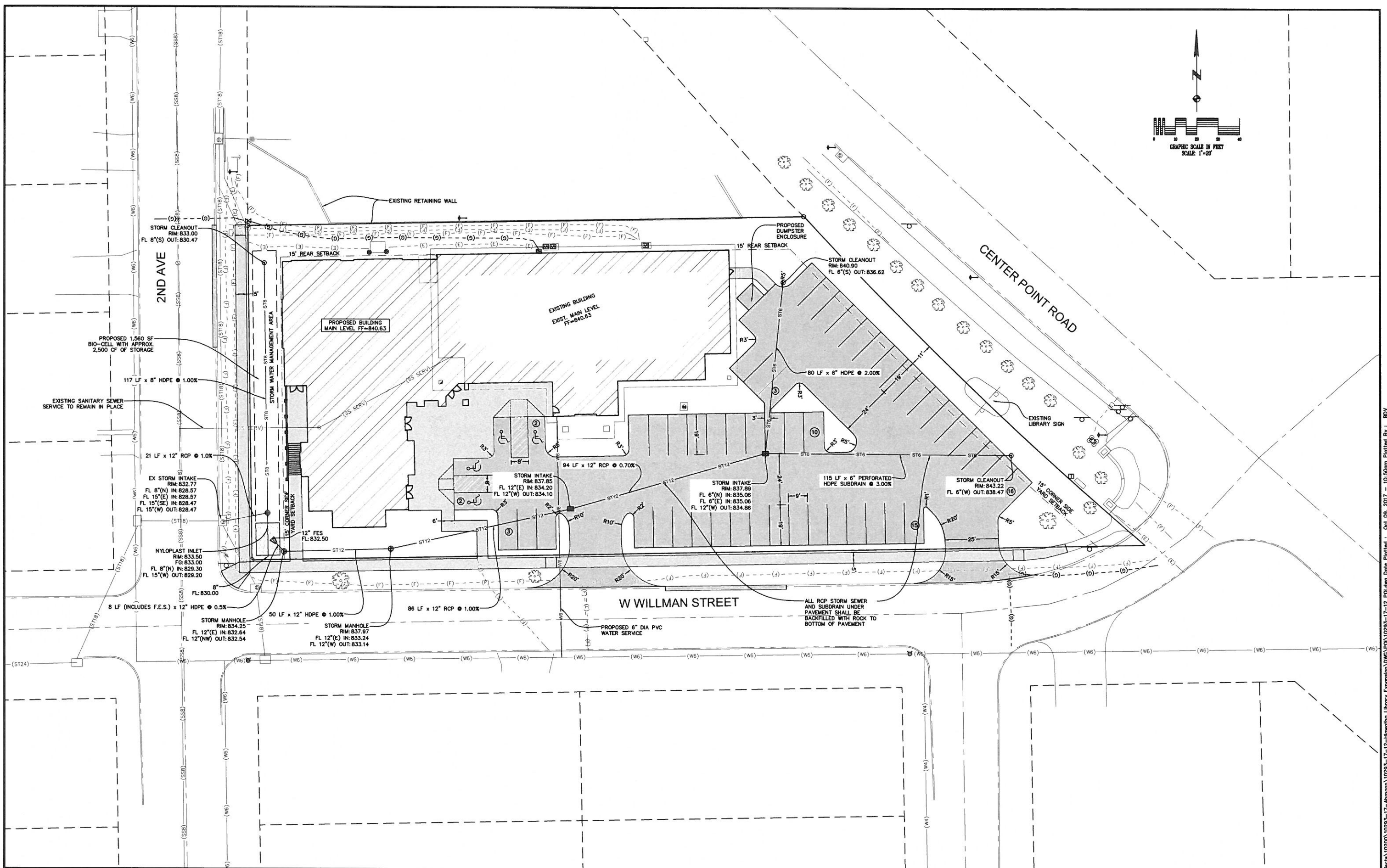
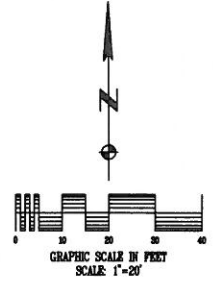
HALL & HALL ENGINEERS, INC.
Leaders in Land Development Since 1953
1860 BOY'S CH. ROAD, HIAWATHA, IOWA 52233
PHONE: (319) 362-6548 FAX: (319) 362-1595
CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE
LAND SURVEYING • LAND DEVELOPMENT PLANNING
www.halleng.com

HIAWATHA LIBRARY EXPANSION
IN THE CITY OF HIAWATHA, LINN CO, IOWA

SITE GRADING, EROSION CONTROL & SWPPP PLAN

PROJECT NO: 10293-17-12

C4.0



DRAWN BY: C.JZ			
CHECKED BY: BDV			
APPROVED BY: BDV			
DATE: 10/09/17			
FIELD BOOK: 240			
NO.	REVISION DESCRIPTION	APPROVED	DATE

Hiawatha!

HALL & HALL ENGINEERS, INC.
Leaders in Land Development Since 1953

1880 BOYSCON ROAD, HIAWATHA, IOWA 52233
 PHONE: (319) 362-8048 FAX: (319) 362-7058

CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE
 LAND SURVEYING • LAND DEVELOPMENT PLANNING

HHE
www.halleng.com

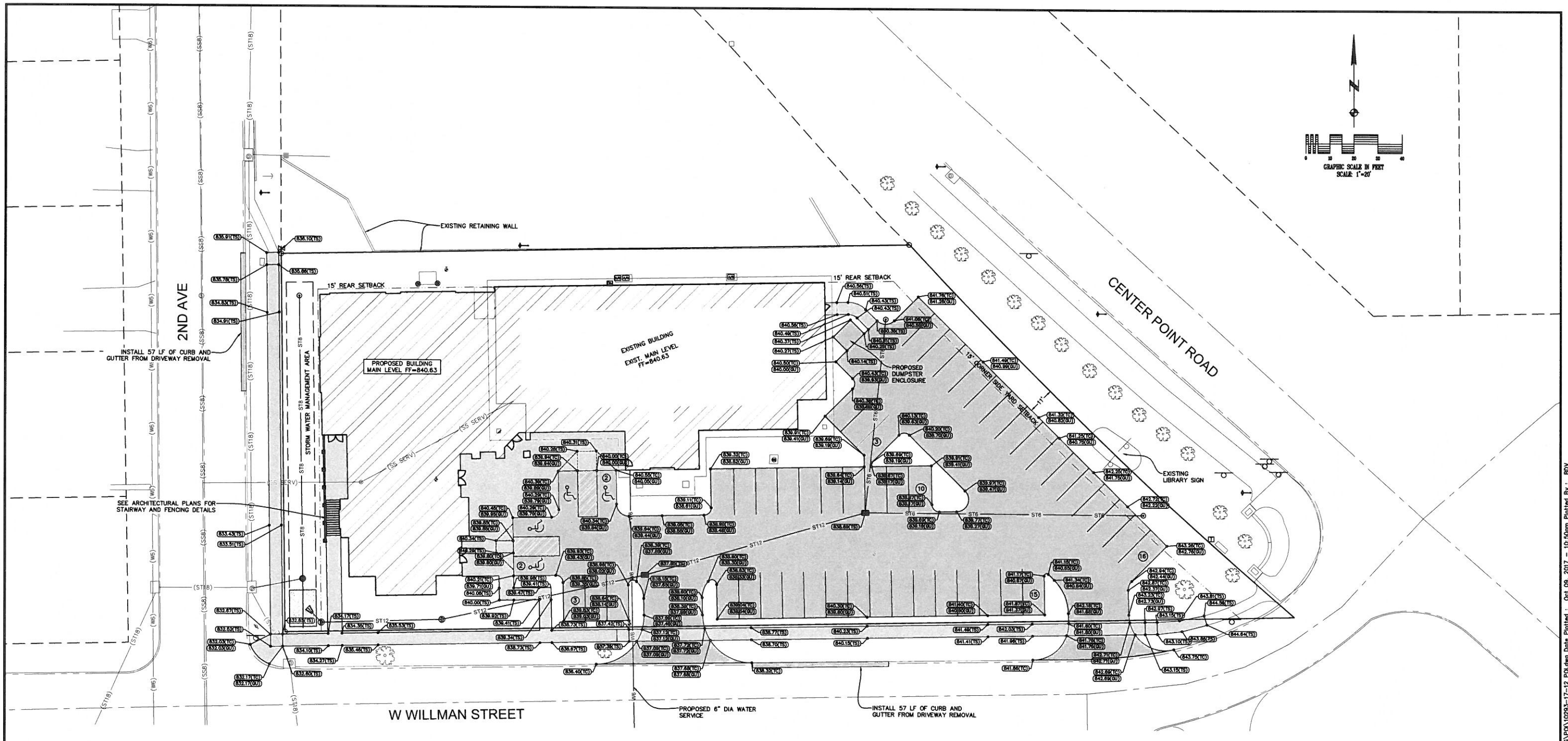
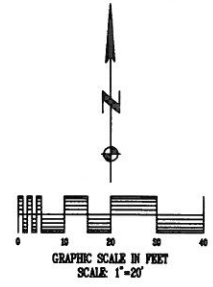
HIAWATHA LIBRARY EXPANSION
 IN THE CITY OF HIAWATHA, LINN CO, IOWA

SITE UTILITY PLAN

PROJECT NO: 10293-17-12

C5.0

CAD File: I:\projects\10293-17-12-Hiawatha Library Expansion\DWG\DWG\10293-17-12_Plot.dwg Date Plotted: Oct 09, 2017 - 10:50am Plotted By: BDV



INSTALL 57 LF OF CURB AND GUTTER FROM DRIVEWAY REMOVAL

SEE ARCHITECTURAL PLANS FOR STAIRWAY AND FENCING DETAILS

PROPOSED BUILDING MAIN LEVEL FF=840.63

EXISTING BUILDING EXIST. MAIN LEVEL FF=840.63

CENTER POINT ROAD

W WILLMAN STREET

PROPOSED 6" DIA WATER SERVICE

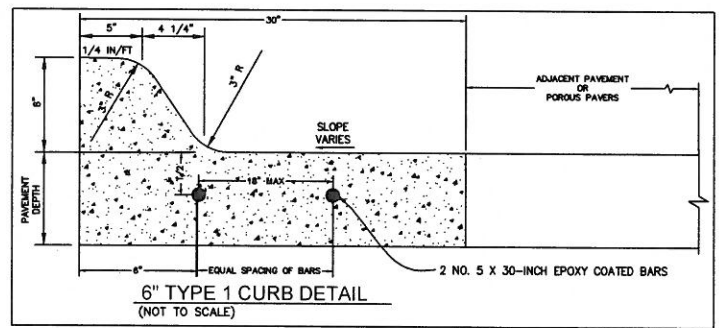
INSTALL 57 LF OF CURB AND GUTTER FROM DRIVEWAY REMOVAL

PAVEMENT LEGEND

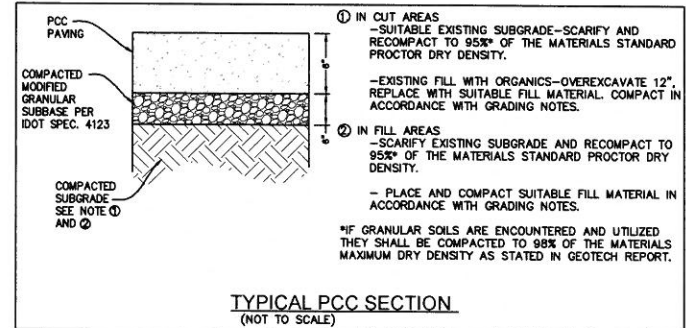
- 6" PCC PAVEMENT ON 6" COMPACTED GRANULAR SUBBASE
- 4" PCC PAVEMENT SIDEWALK ON COMPACTED SUBGRADE

NOTES:

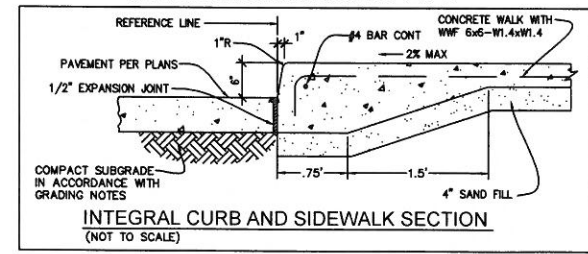
ALL NON ADA PARKING STALLS ARE 9' X 19'



6" TYPE 1 CURB DETAIL
(NOT TO SCALE)



TYPICAL PCC SECTION
(NOT TO SCALE)



INTEGRAL CURB AND SIDEWALK SECTION
(NOT TO SCALE)

DRAWN BY: CJZ				
CHECKED BY: BDV				
APPROVED BY: BDV				
DATE: 10/09/17				
FIELD BOOK: 240	NO.	REVISION DESCRIPTION	APPROVED	DATE

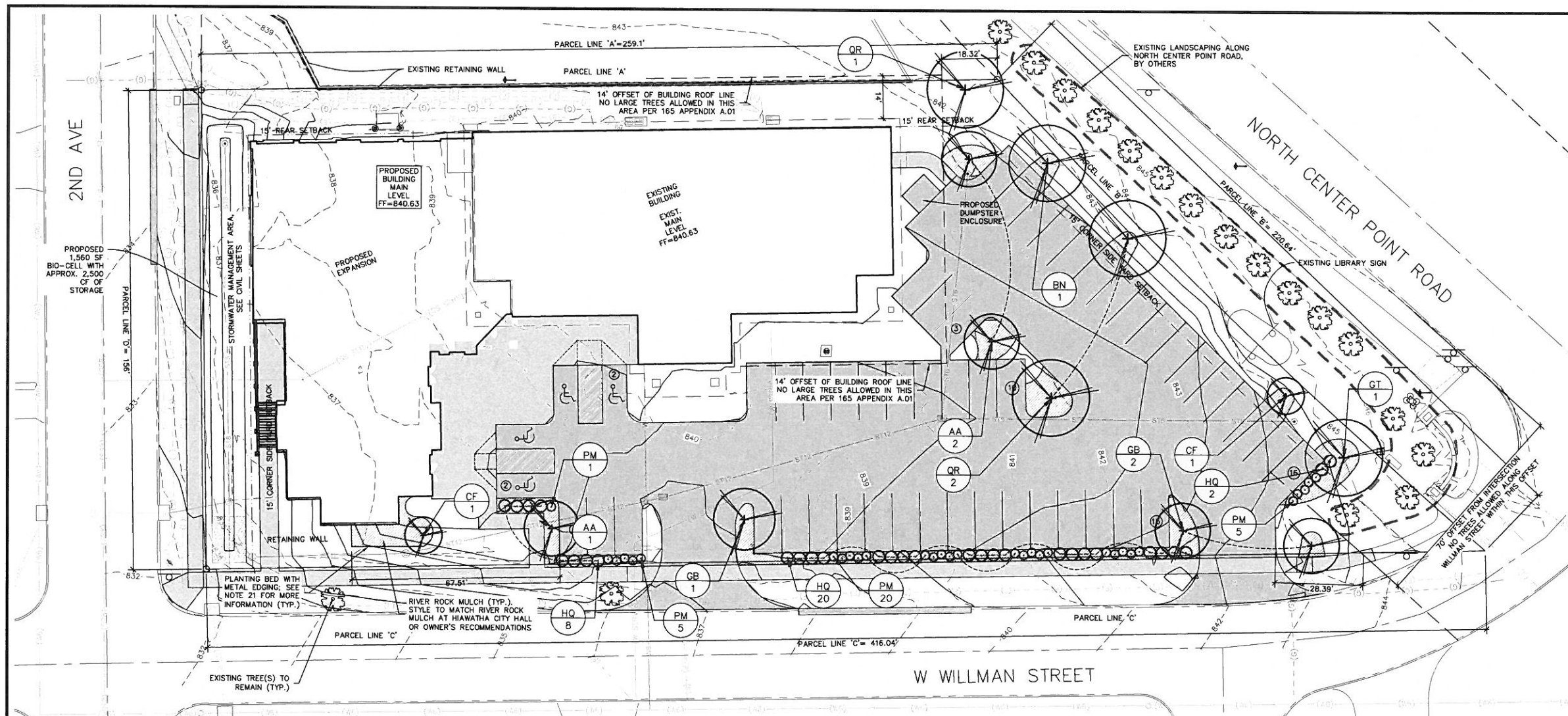


HALL & HALL ENGINEERS, INC.
Leaders in Land Development Since 1953
 890 BOYSON ROAD, HIAWATHA, IOWA 52233
 PHONE: (319) 362-8646 FAX: (319) 362-7900
 CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE
 LAND SURVEYING • LAND DEVELOPMENT PLANNING
 www.hallei.com

HIAWATHA LIBRARY EXPANSION
 IN THE CITY OF HIAWATHA, LINN CO, IOWA

SITE PAVING PLAN
 PROJECT NO: 10293-17-12

C6.0



HIAWATHA PLANTING REQUIREMENTS

ZONING:
EXISTING: CPR-1
PROPOSED: CPR-1

1. 165.34 DESIGN AND MAINTENANCE OF OFF-STREET PARKING AREAS

A. SCREENING AND LANDSCAPING

1. ALL OPEN VEHICLE PARKING AREAS CONTAINING MORE THAN 4 PARKING SPACES, UNLESS LOCATED GREATER THAN 100 FEET AWAY, SHALL BE EFFECTIVELY SCREENED ON EACH SIDE ADJOINING PROPERTY IN A RESIDENTIAL DISTRICT OR INSTITUTIONAL PREMISES.

2. PARCEL LINE 'B': PROPOSED PARKING LOT TO BE 4' ELEVATION BELOW NORTH CENTER POINT ROAD SCREENING NOT REQUIRED.

3. PARCEL LINE 'C': SCREENING REQUIRED ALONG PARKING LOT FACING W WILLMAN ROAD MIN 3' H. LANDSCAPING PER 165.34.5

B. TREE REQUIREMENTS PER HIAWATHA DESIGN GUIDE FOR NORTH CENTER POINT ROAD ZONE

1 TREE/12 PARKING STALLS
51/22 = 4.25
PARKING STALL TREES REQUIRED/PROVIDED: 5

II. 165.47 LANDSCAPING AND SHADING REGULATIONS

SUBDIVISION LANDSCAPE AND SHADE REQUIREMENTS

STREET TREES

APPLIES IN ALL NORTH CENTER POINT ROAD ZONE DISTRICTS. STREET TREES SHALL BE INSTALLED WITHIN 50 FEET FROM ROAD CENTERLINE AND BACK OF CURB OF NORTH CENTER POINT ROAD

A. PARCEL LINE 'A' LENGTH OF FRONTAGE: 259.1 LF, BUT ONLY 18.32 LF IS AVAILABLE FOR TREE PLANTING (UTILITIES PREVENT TREES ALONG 240.78' OF PARCEL 'A')
TREES REQUIRED: 18.32/40 = 0.45
TREES REQUIRED/PROVIDED: 1

B. PARCEL LINE 'B' LENGTH OF FRONTAGE: 220 LF
TREES REQUIRED: 220/40 = 5.5
TREES REQUIRED/PROVIDED: 0 (LANDSCAPE ALONG NORTH CENTER POINT ROAD PREVIOUSLY INSTALLED. ADDITIONAL LANDSCAPE NOT REQUIRED.)

C. PARCEL LINE 'C' LENGTH OF FRONTAGE: 416.04 LF, BUT ONLY 95.9 LF IS AVAILABLE FOR TREE PLANTING (UTILITIES AND NARROW WIDTH BETWEEN PARKING LOT AND SIDEWALK PREVENT TREES ALONG 320.14' OF PARCEL 'C')
TREES REQUIRED: 95.9/40 = 2.39
TREES REQUIRED/PROVIDED: 3

D. PARCEL LINE 'D' LENGTH OF FRONTAGE: 156 LF BUT 0 LF IS AVAILABLE FOR TREE PLANTING (UTILITIES AND BIOCELL PREVENT TREES ALONG 156 LF OF PARCEL 'D')
TREES REQUIRED: 0/40 = 0
TREES REQUIRED/PROVIDED: 0

(* AT STREET INTERSECTIONS: TREES SHALL NOT BE LOCATED WITHIN:
ARTERIAL = 70 FEET OF INTERSECTION OF CURB LINES;
COLLECTOR = 50 FEET OF INTERSECTION OF CURB LINES;
LOCAL = 30 FEET OF INTERSECTION OF CURB LINES

III. 165.47 SCREENING AND LANDSCAPING

A. 165.47 OPEN SPACE

xxx DISTRICTS: TOTAL LOT AREA = 52200 SF
52200 SF * (10%) = 5220 SF MINIMUM OPEN SPACE
(NOT INCLUDING ANY BUILDINGS, PAVED VEHICULAR SURFACES)
5220 SF OPEN SPACE REQUIRED
15200 SF OPEN SPACE PROVIDED

B. 165.47.6.2.2 OPEN SPACE TREE COVER REQUIREMENTS

5220 SF * (1/3) = 1731.6 SF TREE COVER
1731.6 SF TREE COVER / (200 SF) = 8.6
OPEN SPACE TREES REQUIRED/PROVIDED: 9

C. 165.47.6.3.2 INTERIOR PARKING ISLAND OPEN SPACE

(A) STREET TREES REQUIRED IN ALL C-3 ZONE DISTRICTS; AS NOTED ABOVE
(B) APPLIES TO ALL PARKING FACILITIES OF 40+ SPACES WITH MORE THAN 2 DRIVE AISLES.
TOTAL PAVED PARKING AREA = 21000 SF
21000 SF * (5%) = 1050 SF INTERIOR LANDSCAPE ISLANDS REQ'D
APPROX. 1700 SF PROVIDED

LANDSCAPE TOTALS

TOTAL TREES PROVIDED: 13
I.B = 5
I.A = 1
I.C = 3
I.D = 0
I.B = 4 (9-5)
OPEN SPACE PROVIDED: 15200 SF
INTERIOR ISLAND SPACE: APPROX. 1700 SF

1.0 HIAWATHA LIBRARY EXPANSION LANDSCAPE PLAN
GRAPHIC SCALE IN FEET
SCALE 1" = 20'

- GENERAL LANDSCAPE NOTES**
- CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO EXCAVATION. BEFORE COMMENCEMENT OF ANY WORK, CONTACT IOWA ONE CALL (1-800-292-8989) OR 811 AT LEAST 48 HOURS PRIOR TO DIGGING. CONTRACTOR TO REPAIR DAMAGE TO UTILITIES AND STRUCTURES IMMEDIATELY AT CONTRACTOR'S EXPENSE.
 - PRIOR TO PLANT MATERIAL INSTALLATION, THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL APPROVE PLANT LOCATIONS. FIELD ADJUSTMENTS OF PROPOSED PLANT LOCATIONS MAY BE REQUIRED TO MINIMIZE POTENTIAL INTERFERENCE WITH EXISTING UTILITIES. TO MINIMIZE HAZARDS TO PLANT GROWTH AND TO IMPROVE MAINTENANCE CONDITIONS AND/OR IN CONSIDERATION OF OTHER FACTORS.
 - PRIOR TO INSTALLATION, TREE PLANTING LOCATIONS SHALL BE FLAGGED AND PLANTING BEDS SHALL BE DELINEATED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. CONTACT THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ONE WEEK PRIOR TO ANTICIPATED PLANT MATERIAL INSTALLATION DATE FOR LAYOUT APPROVAL.
 - PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
 - PLANT QUANTITIES ARE FOR CONTRACTOR'S CONVENIENCE. DRAWINGS SHALL PREVAIL WHERE DISCREPANCIES OCCUR.
 - NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - PROVIDE A MINIMUM 3" DEPTH OF RIVER ROCK MULCH IN PLANTING BEDS AND TREE RINGS. MULCH RINGS FOR TREES SHALL BE A MINIMUM SIX FOOT (6') DIAMETER, UNLESS SHOWN DIFFERENTLY ON PLANS. MULCH BEDS AND TREE RINGS SHALL USE ALUMINUM EDGING AS NECESSARY FOR APPLICATION AT MULCH EDGE, UNLESS OTHERWISE NOTED. SEE NOTE 21 UNDER GENERAL NOTES FOR MORE INFORMATION. RIVER ROCK MULCH TO MATCH EXISTING MULCH AT CITY OF HIAWATHA CITY HALL.
 - NURSERY TAGS SHALL BE LEFT ON PLANT MATERIAL UNTIL LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE HAS COMPLETED THE INITIAL ACCEPTANCE.
 - CONTAINER GROWN STOCK SHALL HAVE THE CONTAINER REMOVED AND THE ROOT BALL CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
 - PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS, METALS, OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
 - AS NEEDED, STAKE NEWLY PLANTED TREES RELATIVE TO WIND EXPOSURE. PLANTS SHALL BE SET PLUMB TO GROUND AND FACED FOR BEST APPEARANCE. AS NECESSARY, PRUNE DEAD BRANCHES OR THOSE THAT COMPROMISE

- APPEARANCE AND STRUCTURE TO A MAX OF 1/2 THE PLANT.
- CONTRACTOR SHALL WATER AND MAINTAIN ALL SEEDING AREAS AS WELL AS PLANT MATERIAL UNTIL GROUND FREEZES. MAINTENANCE IS INCIDENTAL AND INCLUDES, BUT IS NOT LIMITED TO, WEEDING, MULCHING, AND OTHER NECESSARY RELATED OPERATIONS UNTIL INITIAL ACCEPTANCE. INITIAL ACCEPTANCE IS CONSIDERED TO BE THE DATE AT WHICH PLANTING AND MULCHING, ETC., PER LANDSCAPE PLAN, HAS BEEN COMPLETED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - PLANT MATERIAL SHALL BE GUARANTEED TO BE IN VIGOROUS GROWING CONDITIONS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INITIAL ACCEPTANCE. REPLACE PLANT MATERIAL UP TO ONE YEAR OF INITIAL ACCEPTANCE, IN ACCORDANCE WITH LANDSCAPE PLANS. ALL PLANTS THAT ARE DEAD OR IN AN UNHEALTHY OR UNSIGHTLY STATE ARE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - AREAS DISTURBED BY CONSTRUCTION SHALL HAVE FULL SURFACE RESTORATION IMPLEMENTED BY MEANS OF TURF GRASS LAWN SEED AND/OR SOD. CONTRACTOR TO VERIFY/COORDINATE WITH OWNER UNLESS NOTED OTHERWISE.
 - SEEDING APPLICATION NOTES ARE LISTED IN SOD/SEED APPLICATION NOTES. CONTRACTOR SHALL FOLLOW SEED MANUFACTURER'S RECOMMENDED SPECIFICATIONS FOR PRODUCT INFORMATION & INSTALLATION, OR CITY STANDARDS, AS APPLICABLE.
 - FOR OTHER LANDSCAPING WORK NOT ADDRESSED VIA MANUFACTURER'S SPECIFICATIONS OR NOT COVERED WITHIN THESE GENERAL NOTES, CONTRACTOR SHALL FOLLOW CITY STANDARDS AS APPLICABLE. THE PLAN AND NOTES ON THIS SHEET SHALL SUPERCEDE CITY STANDARDS AS APPLICABLE.
 - TREES TO BE PLACED WITHIN PARKING LOT ISLANDS ARE TO STRICTLY FOLLOW APPLICABLE CITY STANDARDS.
 - LANDSCAPE TO BE INSTALLED PER APPLICABLE SUDAS OR CITY STANDARDS.
 - NURSERY SOURCE FOR LANDSCAPE PLANTS SHOWN HEREON SHALL BE WITHIN A 150 MILE RADIUS OF HIAWATHA, IOWA AND GROWN IN A CLIMATE ZONE OF 5A OR COLDER.
 - PROVIDE AND MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION AND INSTALLATION. DO NOT ALLOW ADDITION OF TOPSOIL, PLANTING SOIL OR MULCH TO DETER POSITIVE DRAINAGE OR TO CREATE AREA OF LOCALIZED PONDING.
 - PROVIDE ALUMINUM EDGING BETWEEN ALL MULCHED BEDS AND LAWN AREAS (SOD AND/OR SEED). ALUMINUM EDGING SHALL BE PERMALOC CLEANLINE 3/16" x 5.5" WITH MILL FINISH - NATURAL ALUMINUM, OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS. PRODUCT INFORMATION SEE: www.permaloc.com.
 - LANDSCAPE DETAILS FOR THIS PROJECT TO FOLLOW CEDAR RAPIDS METRO DESIGN DETAILS.

HIAWATHA LIBRARY EXPANSION-10293-17-12						
PLANTING SCHEDULE						
QTY	ID	BOTANICAL/Common NAME	MIN. SIZE	ROOT	SPACING	NOTES
DECIDUOUS TREES						
3	AA	Amelanchier sp. 'Snowcloud' SNOWCLOUD SERVICEBERRY	1 1/2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN SINGLE TRUNK SPECIMEN
1	BN	Betula nigra 'Heritage' HERITAGE RIVER BIRCH	2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN, SINGLE TRUNK SPECIMEN
2	CF	Cornus florida FLOWERING DOGWOOD	1 1/2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
3	GB	Ginkgo biloba (Male Only) GINKGO TREE	2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN, MALE SPECIMEN ONLY
1	GT	Gleditsia triacanthos inermis 'Trueshade' TRUESHADE HONEYLOCUST	2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
3	QR	Quercus rubra NORTHERN RED OAK	2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
DECIDUOUS SHRUBS						
30	HQ	Hydrangea quincefolia 'Snow Queen' SNOW QUEEN OAKLEAF HYDRANGEA	3 GAL	CONT. or BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
EVERGREEN SHRUBS						
31	PM	Pinus mugo MUGO PINE	1 GAL	CONTAINER	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
GROUNDCOVERS/ SEED MIXES						
N/A	SOD/ SEED	PER SOD/SEED NOTES	N/A	N/A	N/A	PER SOD/SEED NOTES, ALL DISTURBED AREAS PER NOTES

DRAWN BY: NHS			
CHECKED BY: -			
APPROVED BY: -			
DATE: 9/5/17			
FIELD BOOK: XXX	NO.	REVISION DESCRIPTION	APPROVED DATE

HALL & HALL ENGINEERS, INC.
Landscape in Land Development Since 1953
1860 BOYSON ROAD, HIAWATHA, IOWA 52233
PHONE: (319) 362-9948 FAX: (319) 362-7925
CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE
LAND SURVEYING • LAND DEVELOPMENT PLANNING
www.halling.com

HIAWATHA PUBLIC LIBRARY EXPANSION
IN THE CITY OF HIAWATHA,
LINN COUNTY, IOWA

SITE LANDSCAPE PLAN		SHEET
		L1.0
PROJECT NO: 10293-17-12		

CAD File: I:\projects\10293-17-12-Hiawatha Library Expansion\DWG\10293-17-12-Landsc Date Plotted: Oct 09, 2017 9:02am Plotted By: BOV